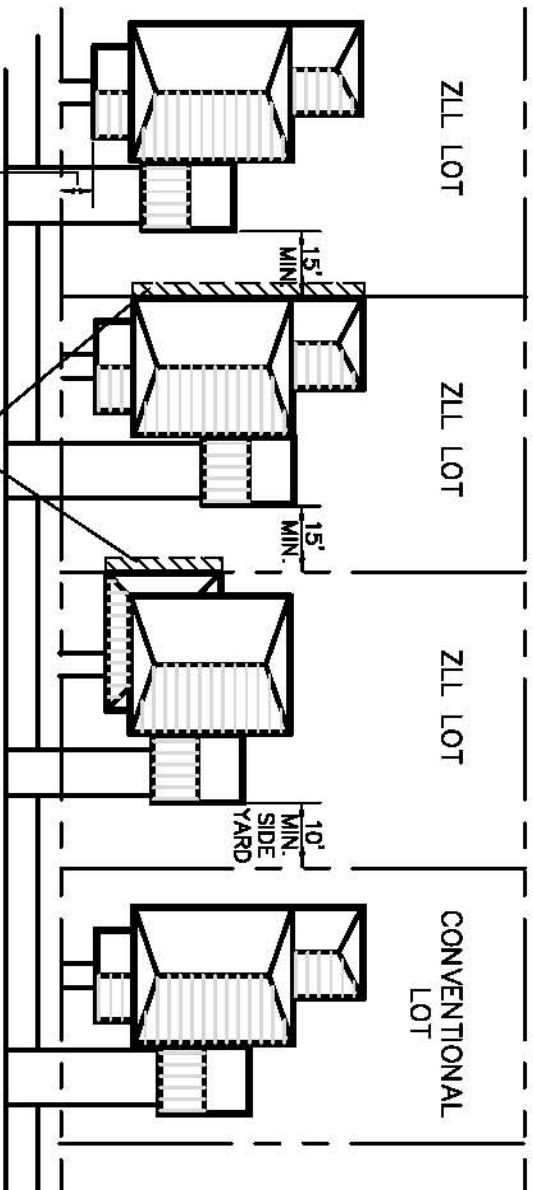


## **City of Valdosta Land Development Regulations**

### **Appendix E – Design Guidelines for Residential Infill Development**



# DESIGN GUIDELINES

- A. PRIOR TO BUILDING PERMIT APPROVAL, THE APPLICANT SHALL RECORD AN EASEMENT FOR EACH ZERO LOT LINE LOT TO GUARANTEE RIGHTS FOR CONSTRUCTION AND MAINTENANCE OF STRUCTURES AND YARDS.
- B. ALONG THE SIDE WALLS, WINDOW PLACEMENT AND DESIGN SHALL PROVIDE FOR PRIVACY.
- C. WHEN A ZERO LOT LINE HOUSE SHARES A SIDE PROPERTY LINE WITH A HOUSE ON A CONVENTIONAL LOT, THE ZERO LOT LINE HOUSE SHALL BE SET BACK FROM THE COMMON PROPERTY LINE BY A MINIMUM OF 5 FEET.

## ZERO LOT LINE DWELLINGS

DESIGN GUIDELINES FOR:

**RESIDENTIAL INFILL DISTRICT**

CITY OF VALDOSTA, GEORGIA



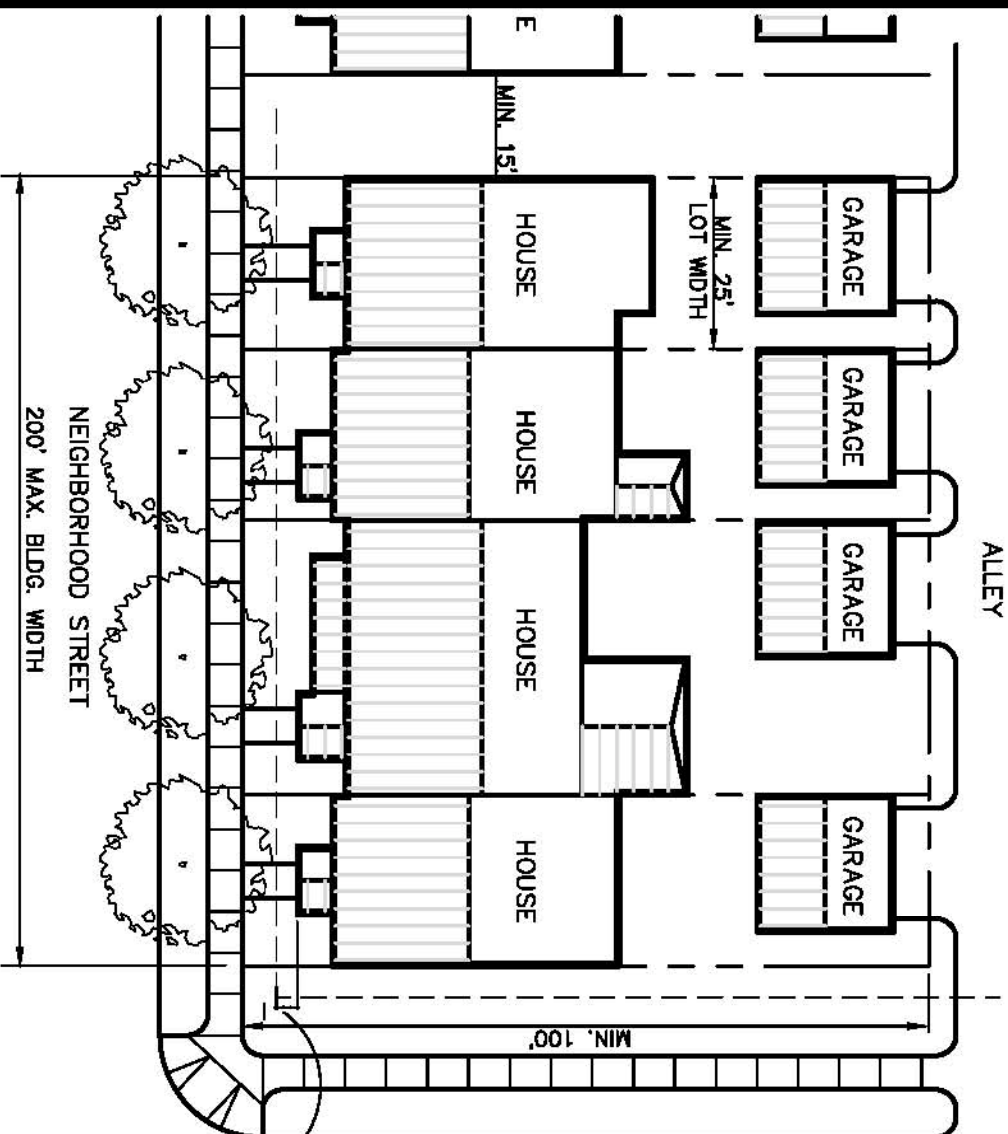
FEBRUARY 5, 2008

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FIGURE

**1**

ALLEY



## DESIGN GUIDELINES

- NO SINGLE RESIDENTIAL STRUCTURE (INCLUDING ROWS OF ATTACHED DWELLINGS OR TOWNHOUSES) SHOULD MEASURE MORE THAN 200 FEET IN ANY DIRECTION.
- NO SINGLE RESIDENTIAL STRUCTURE (INCLUDING ROWS OF ATTACHED DWELLINGS OR TOWNHOUSES) SHOULD OCCUPY MORE THAN 10,000 SQUARE FEET ON THE GROUND FLOOR.
- GARAGES SHOULD BE IN REAR YARDS WITH ACCESS TO ALLEY.
- PRINCIPAL ENTRANCES SHOULD BE ORIENTED TO THE STREET.

## SINGLE-FAMILY ATTACHED/TOWNHOUSE DWELLINGS

DESIGN GUIDELINES FOR:

RESIDENTIAL INFILL DISTRICT

CITY OF VALDOSTA, GEORGIA



FEBRUARY 5, 2008

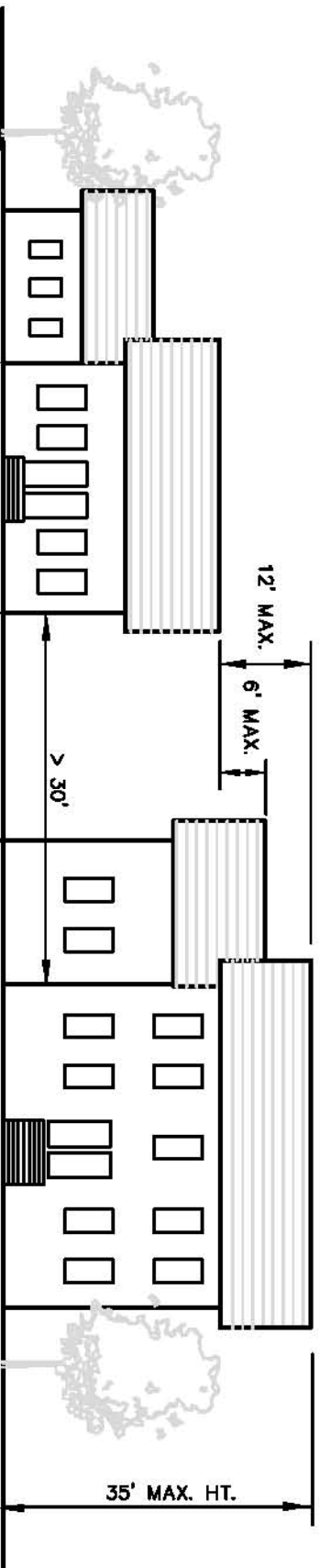
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FIGURE

2

## DESIGN GUIDELINES

1. MAXIMUM BUILDING HEIGHT MAXIMUM 35 FEET.
2. THE HIGHEST POINT OF ANY NEW STRUCTURE OR NEWLY CONSTRUCTED PORTION OF AN EXISTING STRUCTURE SHALL BE NO MORE THAN 12 FEET ABOVE THE HIGHEST POINT OF THE ROOF OF ANOTHER HOUSE ON EITHER SIDE.
3. BUILDING HEIGHT TRANSITION: PROTRUSIONS OF NEW STRUCTURES OR MODIFICATIONS TO EXISTING STRUCTURES THAT ARE WITHIN 30 FEET OF AN EXISTING DWELLING SHALL NOT EXCEED THE HEIGHT OF THE EXISTING DWELLING BY MORE THAN 6 FEET.



## MAXIMUM BUILDING HEIGHT AND HEIGHT TRANSITION

DESIGN GUIDELINES FOR:

**RESIDENTIAL INFILL DISTRICT**

CITY OF VALDOSTA, GEORGIA

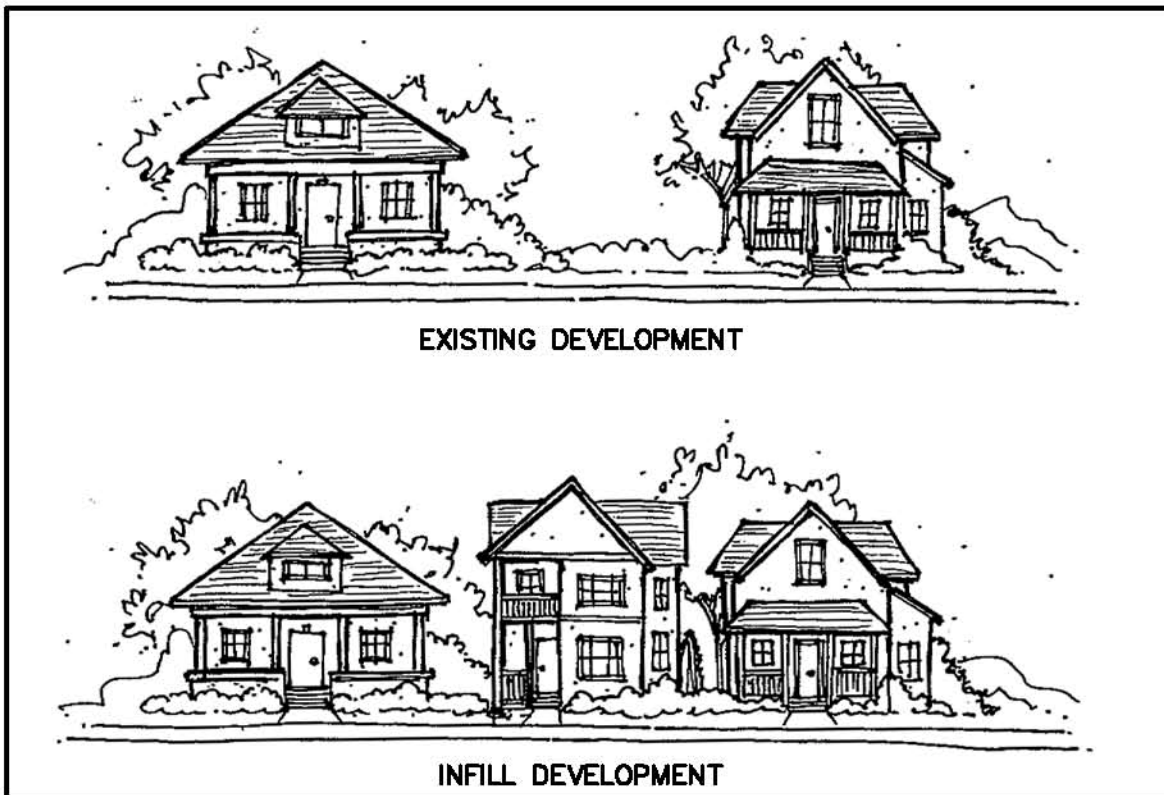


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FIGURE

**3**



COMPATIBILITY IS DETERMINED BASED ON THE FOLLOWING FACTORS:

- A. LOT SIZE
- B. BUILDING SPACING
- C. BUILDING SIZE
- D. BUILDING HEIGHT AND HEIGHT TRANSITION
- E. BUILDING ORIENTATION
- F. SETBACK
- G. MASSING
- H. SCALE
- I. ROOF SHAPES AND ORIENTATION
- J. PRESENCE OF LIKE ELEMENTS OF RESIDENTIAL DESIGN
- K. BUILDING MATERIALS
- L. COLORS

## EXAMPLE OF COMPATIBLE INFILL DEVELOPMENT

DESIGN GUIDELINES FOR:  
**RESIDENTIAL INFILL DISTRICT**  
 CITY OF VALDOSTA, GEORGIA



FEBRUARY 5, 2008

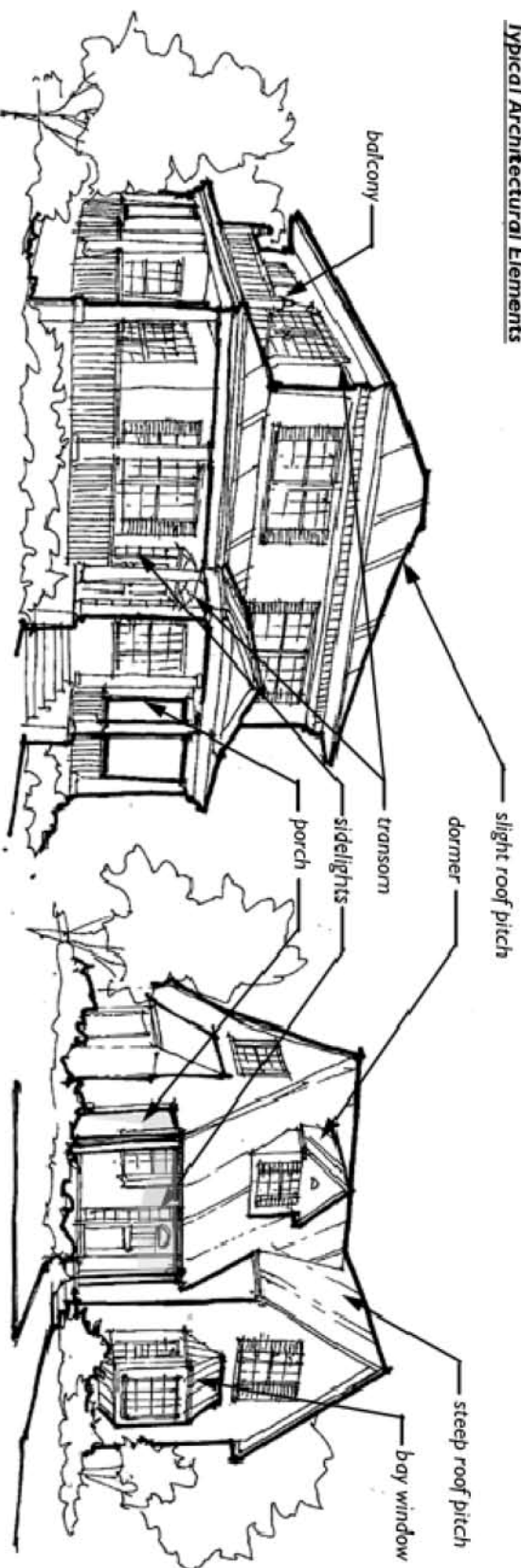
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FIGURE

**4**



### Typical Architectural Elements



### DESIGN GUIDELINES

#### RECOMMENDED:

- A. FACADES OF PRINCIPAL STRUCTURES SHOULD INCORPORATE ARCHITECTURAL ELEMENTS SUCH AS BAY OR BOW WINDOWS, RECESSED ENTRIES, COVERED PORCHES, COLUMNS, DORMERS, BELT COURSES, BALCONIES, RAILINGS, AND MULTIPLE ROOF ELEMENTS IN ORDER TO PROVIDE RHYTHM AND VARIETY TO FACADES.
- B. REFLECT THE ELEMENTS OF RESIDENTIAL DESIGN THAT ARE PREVALENT IN THE NEIGHBORHOOD WHEN DESIGNING NEW HOMES OR REMODELING EXISTING HOMES.
- C. INCLUDE TWO OR MORE OF THESE ELEMENTS IN EACH HOME, BUT NOT NECESSARILY THE SAME ONES EACH TIME.

### ELEMENTS OF RESIDENTIAL DESIGN

#### DESIGN GUIDELINES FOR:

#### RESIDENTIAL INFILL DISTRICT

CITY OF VALDOSTA, GEORGIA



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FIGURE

5

## BUILDING ORIENTATION



### **RECOMMENDED**

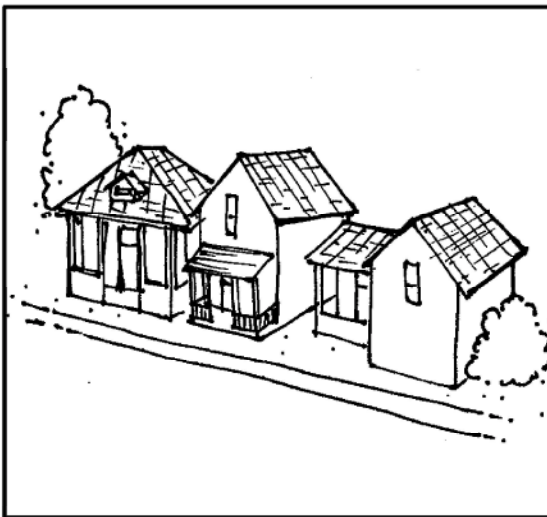
1. BUILDINGS WITH MAIN ENTRY DIRECTLY FACING THE STREET.
2. SIDEWALKS LEADING FROM THE FRONT DOOR TO THE STREET.
3. CREATE A SENSE OF ENTRY WITH ENTRANCE FRAMED BY COVERED PORCHES, PORTICOS, OR OTHER PRONOUNCED RESIDENTIAL ELEMENTS OF DESIGN.



### **AVOID**

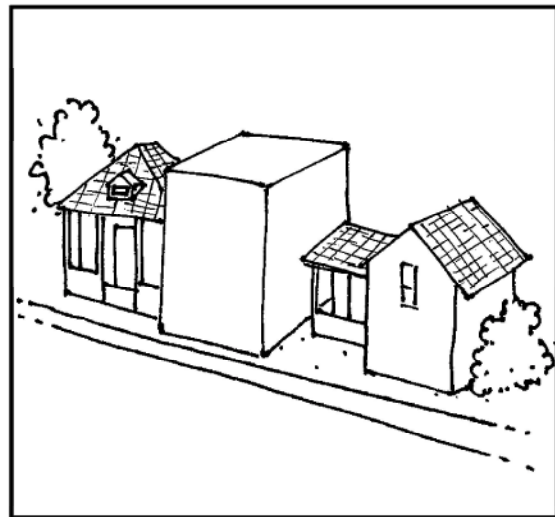
1. MAIN ENTRANCES FACING THE SIDE OR REAR OF PROPERTY.
2. FACADES WITH LARGE EXPANSES OF BLANK WALLS.
3. FACADES WITH NO STRONG SENSE OF ENTRY.

## SETBACK



### **RECOMMENDED**

1. MAINTAIN THE EXISTING SETBACKS OF ADJACENT HOMES ON THE SAME BLOCK FACE.
2. PORCHES MAY EXTEND UP TO 10 FEET BEYOND THE PLANE ESTABLISHED BY THE FRONT LINE OF PRINCIPAL STRUCTURES.
3. CORNER LOTS NEED LARGER EXTRA SIDE YARDS THAN INTERIOR LOTS AND HOUSES ON CORNER LOTS SHOULD RESPECT THE FRONT SETBACKS OF ADJACENT STRUCTURES ALONG THE SIDE STREET.



### **AVOID**

1. AVOID VIOLATING THE EXISTING FRONT SETBACK PATTERN BY PLACING NEW BUILDINGS IN FRONT OR BEHIND THE PREVAILING FACADE LINE.

## **EXAMPLE OF COMPATIBLE BUILDING ORIENTATION AND SETBACK**

DESIGN GUIDELINES FOR:  
**RESIDENTIAL INFILL DISTRICT**  
 CITY OF VALDOSTA, GEORGIA



FEBRUARY 5, 2008

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FIGURE

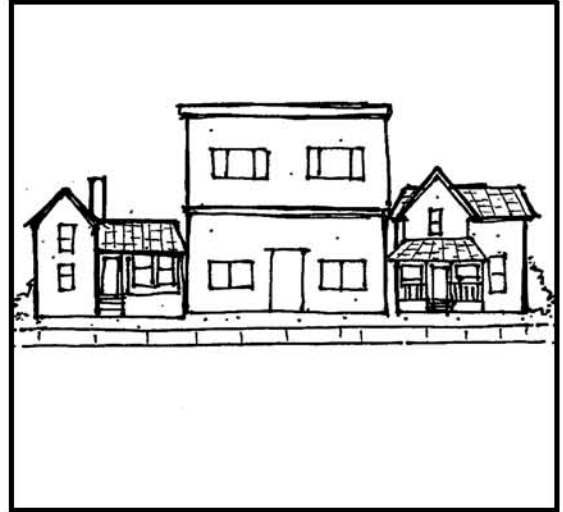
**6**

## **MASSING**



### **RECOMMENDED**

USE MASSING THAT IS COMMON TO BUILDINGS ON THE SAME BLOCK OR IN THE SAME AREA.



### **AVOID**

AVOID SINGLE, MONOLITHIC FORMS THAT ARE NOT RELIEVED BY VARIATIONS IN MASSING.

## **SCALE**



### **RECOMMENDED**

RELATE THE SIZE AND PROPORTIONS OF NEW DWELLINGS TO THE SCALE OF OTHER DWELLINGS ON THE SAME BLOCK FACE OR IN THE SAME AREA.



### **AVOID**

AVOID VIOLATING THE HEIGHT, WIDTH, OR MASSING OF THE EXISTING DWELLINGS ON THE SAME BLOCK FACE OR IN THE AREA.

## **EXAMPLE OF COMPATIBLE MASSING AND SCALE**

DESIGN GUIDELINES FOR:  
**RESIDENTIAL INFILL DISTRICT**  
CITY OF VALDOSTA, GEORGIA



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FIGURE

**7**

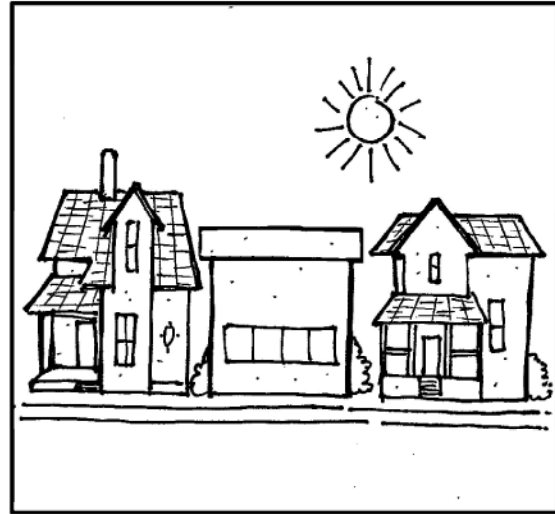


## ROOF SHAPE



### RECOMMENDED

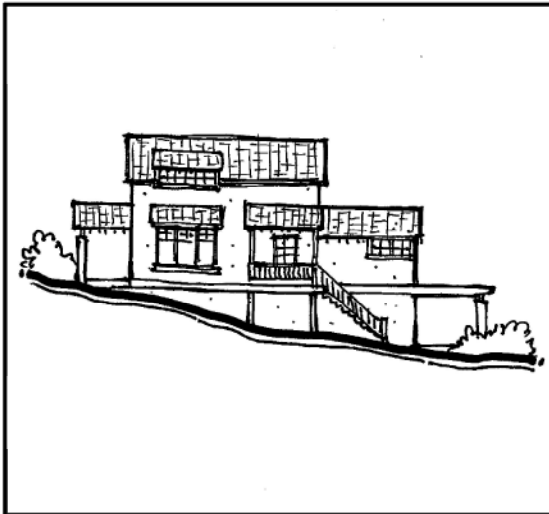
NEW RESIDENTIAL STRUCTURES AND ADDITIONS TO EXISTING RESIDENTIAL STRUCTURES SHOULD USE MASSING AND ROOF PITCHES THAT ARE THE SAME OR COMPATIBLE WITH RESIDENTIAL STRUCTURES ON THE SAME BLOCK IN THE AREA.



### AVOID

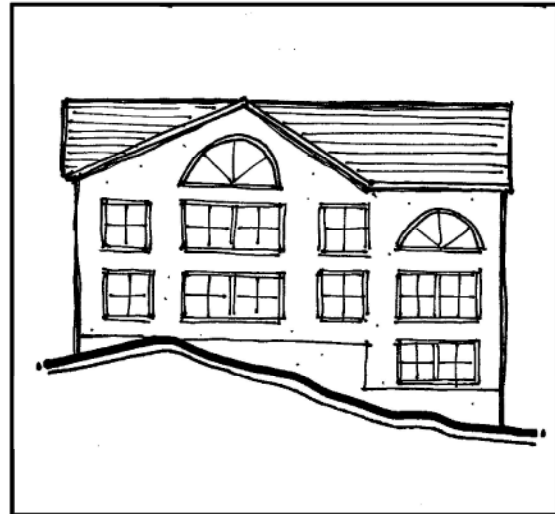
AVOID INTRODUCING ROOF STYLES, SHAPES, PITCHES OR MATERIALS THAT ARE VERY DIFFERENT FROM THOSE PREVALENT ON THE SAME BLOCK IN THE AREA.

## ROOF ORIENTATION



### RECOMMENDED

ROOFLINES SHOULD STEP DOWN WITH GRADES SO AS NOT TO ACCENTUATE BUILDING MASSING.



### AVOID

AVOID BUILDING AND ROOF FORMS THAT IGNORE THE NATURAL GRADE OR SLOPE.

## EXAMPLE OF COMPATIBLE ROOF SHAPE AND ROOF ORIENTATION

DESIGN GUIDELINES FOR:  
**RESIDENTIAL INFILL DISTRICT**  
CITY OF VALDOSTA, GEORGIA

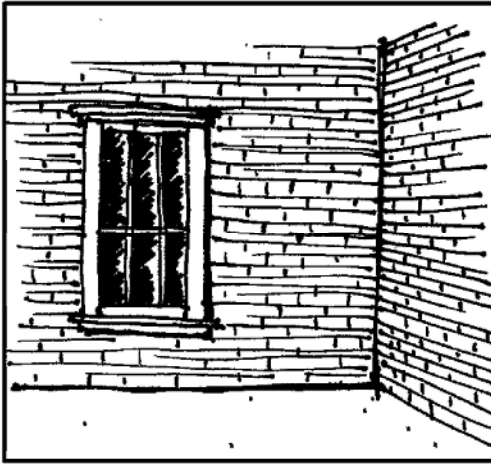


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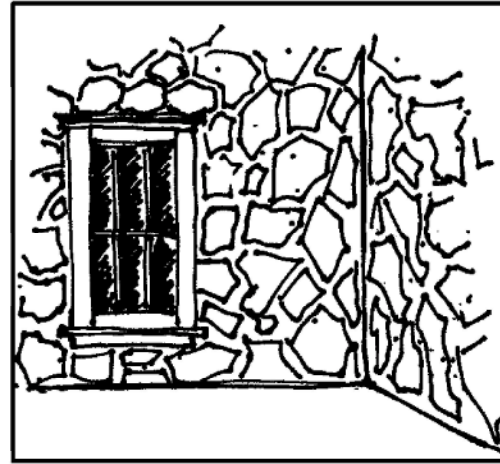
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FIGURE

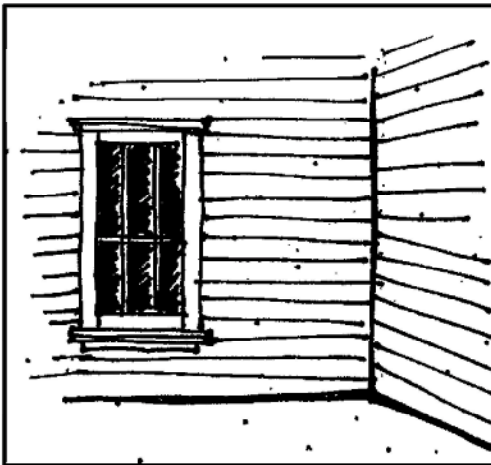
8



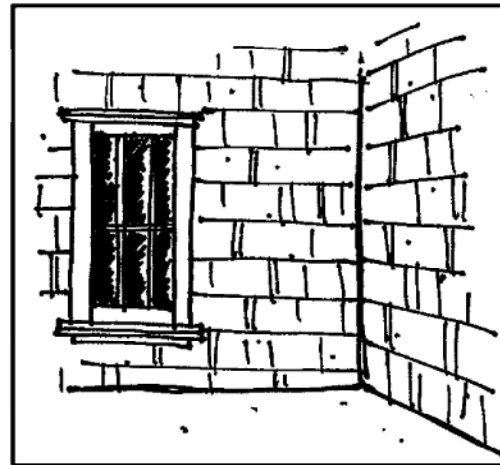
BRICK



STONE



CLAPBOARD SIDING



SHINGLE

**RECOMMENDATIONS:**

- A. MAINTAINING THE PREVAILING BUILDING MATERIALS IN THE NEIGHBORHOOD PROVIDES A UNIFYING LINK BETWEEN NEW AND OLD HOMES IN THE SAME NEIGHBORHOOD.
- B. TRADITIONAL EXTERIOR BUILDING MATERIALS FOR RESIDENTIAL CONSTRUCTION INCLUDE A VARIETY OF WOOD SIDING AND SHINGLE PATTERNS, AS WELL AS BRICK, STONE, AND STUCCO.
- C. WINDOW SIZES, ORIENTATION, SHAPES AND STYLES ARE ALSO KEY FACTORS IN ESTABLISHING A COMMON THEME OF RESIDENTIAL ARCHITECTURE IN A NEIGHBORHOOD.
- D. SUBDUED PASTEL COLORS AND EARTH TONES BLEND WELL WITH NATURAL MATERIALS SUCH AS BRICK, STONE, AND OTHER MASONRY.
- E. CONSIDER SELECTING BUILDING MATERIALS THAT ARE THE SAME OR SIMILAR TO THOSE COMMONLY USED IN OTHER BUILDINGS IN THE NEIGHBORHOOD.
- F. IN REMODELING PROJECTS AND ADDITIONS, THE PRIMARY EXTERIOR BUILDING MATERIAL SHOULD BE THE SAME AS, OR COMPLEMENT, THE EXTERIOR BUILDING MATERIAL THAT PREDOMINATED IN THE ORIGINAL DWELLING.
- G. PROVIDE VISUAL INTEREST WITH THE CHOICE OF AT LEAST ONE ACCENT MATERIAL IN ADDITION TO THE PRIMARY EXTERIOR BUILDING MATERIAL.
- H. SELECT WINDOW SIZES, SHAPES AND STYLES THAT ARE SIMILAR TO THOSE USED IN THE NEIGHBORHOOD.
- I. CHOOSE COLOR SCHEMES FOR NEW CONSTRUCTION, REMODELING AND ADDITIONS THAT BLEND WELL WITH THE OTHER BUILDING MATERIALS ON THE SAME STRUCTURE AND REFLECT THE EXISTING PALETTE OF COLORS IN THE NEIGHBORHOOD.
- J. USE A CONTRASTING COLOR FOR ACCENT AND TRIM THAT HIGHLIGHTS THE PRINCIPAL COLOR OR COLORS.

**AVOID:**

- A. AVOID COMBINING TOO MANY DIFFERENT PRIMARY EXTERIOR BUILDING MATERIALS OR COLORS FOR THE SAME HOUSE.

## EXAMPLES OF COMPATIBLE MATERIALS AND COLORS

DESIGN GUIDELINES FOR:  
**RESIDENTIAL INFILL DISTRICT**  
 CITY OF VALDOSTA, GEORGIA



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FIGURE

9



RECOMMENDED – FRONT PORCH



AVOID – DOUBLE STACKED PORCH



AVOID – SIDE PORCH

**RECOMMENDED:**

- A. PORCHES, BALCONIES, AND DECKS ARE ENCOURAGED FOR RESIDENTIAL FACADES.
- B. FRONT PORCHES AND BALCONIES ARE ALLOWED TO ENCROACH INTO FRONT YARDS BY UP TO 10 FEET.
- C. BALCONIES SHALL BE DESIGNED AND LOCATED TO MINIMIZE LOSS OF PRIVACY FOR NEIGHBORS

**AVOID:**

- A. PORCHES, DECKS, AND BALCONIES IN SIDE YARDS THAT MAY INTERFERE WITH THE PRIVACY OF NEXT DOOR NEIGHBORS.
- B. FRONT BALCONIES THAT ARE DOUBLE-STACKED EXAGGERATE THE MASSING OF THE FAÇADE AND SHOULD BE AVOIDED UNLESS THEY ARE COMMON TO THE SURROUNDING NEIGHBORHOOD.

## EXAMPLE OF BALCONY, PORCH AND DECK LOCATIONS

DESIGN GUIDELINES FOR:  
**RESIDENTIAL INFILL DISTRICT**  
 CITY OF VALDOSTA, GEORGIA

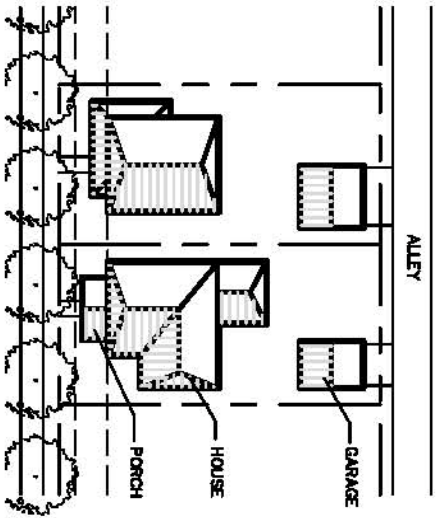


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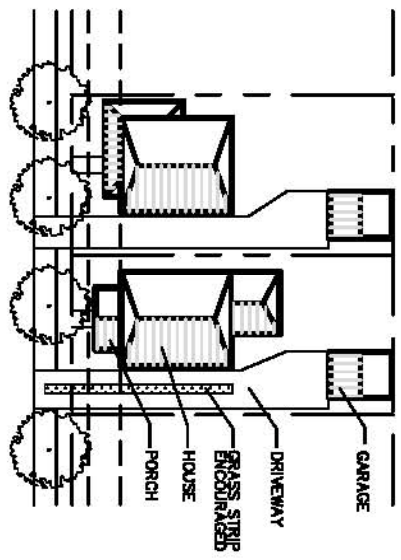
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FIGURE

**10**



DETACHED GARAGE WITH REAR ACCESS

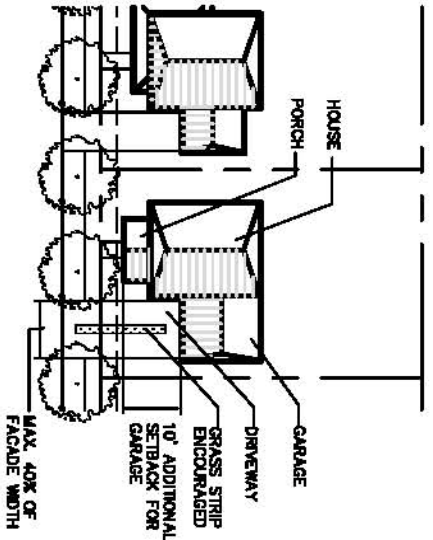


DETACHED GARAGE WITH FRONT ACCESS

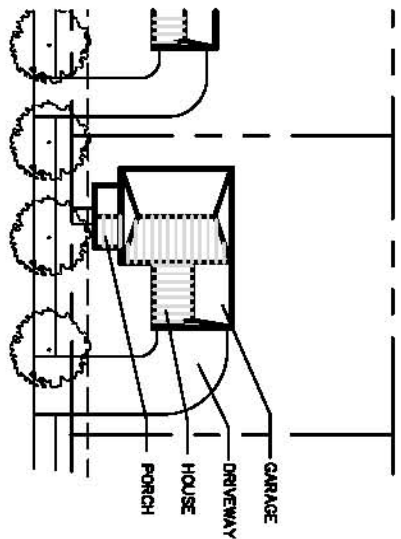
### DESIGN GUIDELINES

THERE ARE A NUMBER OF POSSIBLE LOCATIONS AND ORIENTATIONS FOR GARAGES. RECOMMENDED:

- A. FRONT ENTRY GARAGES/CARPORTS SHOULD COMPRISE NO MORE THAN 35 PERCENT OF THE NEW HOMES AND SHOULD BE SET BACK AT LEAST 25 FEET BEHIND THE R.O.W.
- B. WHEN FRONT ENTRY GARAGES ARE USED, GARAGE DOOR OPENINGS SHALL NOT CONSTITUTE MORE THAN 40 PERCENT OF THE LENGTH OF A FAÇADE OF A RESIDENTIAL STRUCTURE MEASURED ALONG THE GROUND FLOOR.



ATTACHED GARAGE WITH FRONT ACCESS



ATTACHED GARAGE WITH SIDE ACCESS

### ALTERNATIVE GARAGE PLACEMENTS

DESIGN GUIDELINES FOR:

### RESIDENTIAL INFILL DISTRICT

CITY OF VALDOSTA, GEORGIA



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